

DEFINITIVE SITE PLAN

IN WORCESTER, MASSACHUSETTS

99 ARARAT STREET

FEBRUARY 20, 2024



NO.	REVISION	DATE



PREPARED FOR:
ATHANASIOS ENGONIDIS
133 FISHER ROAD
HOLDEN, MA 01520

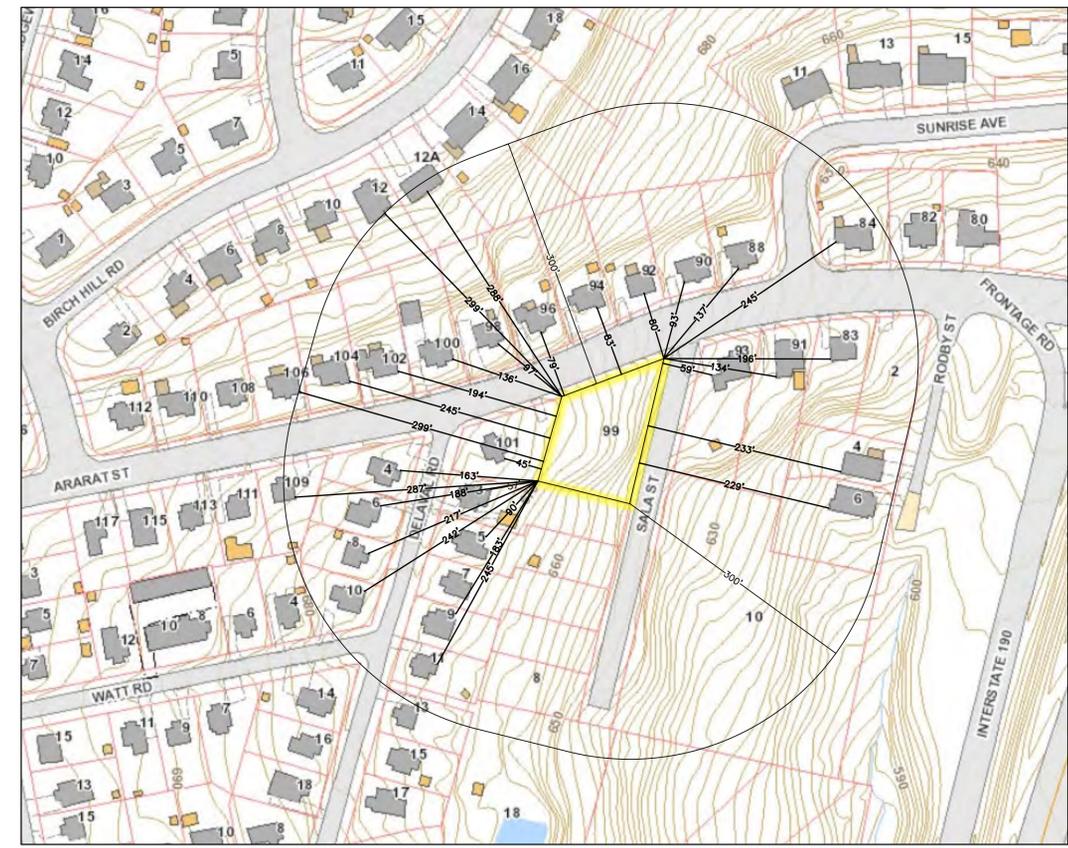
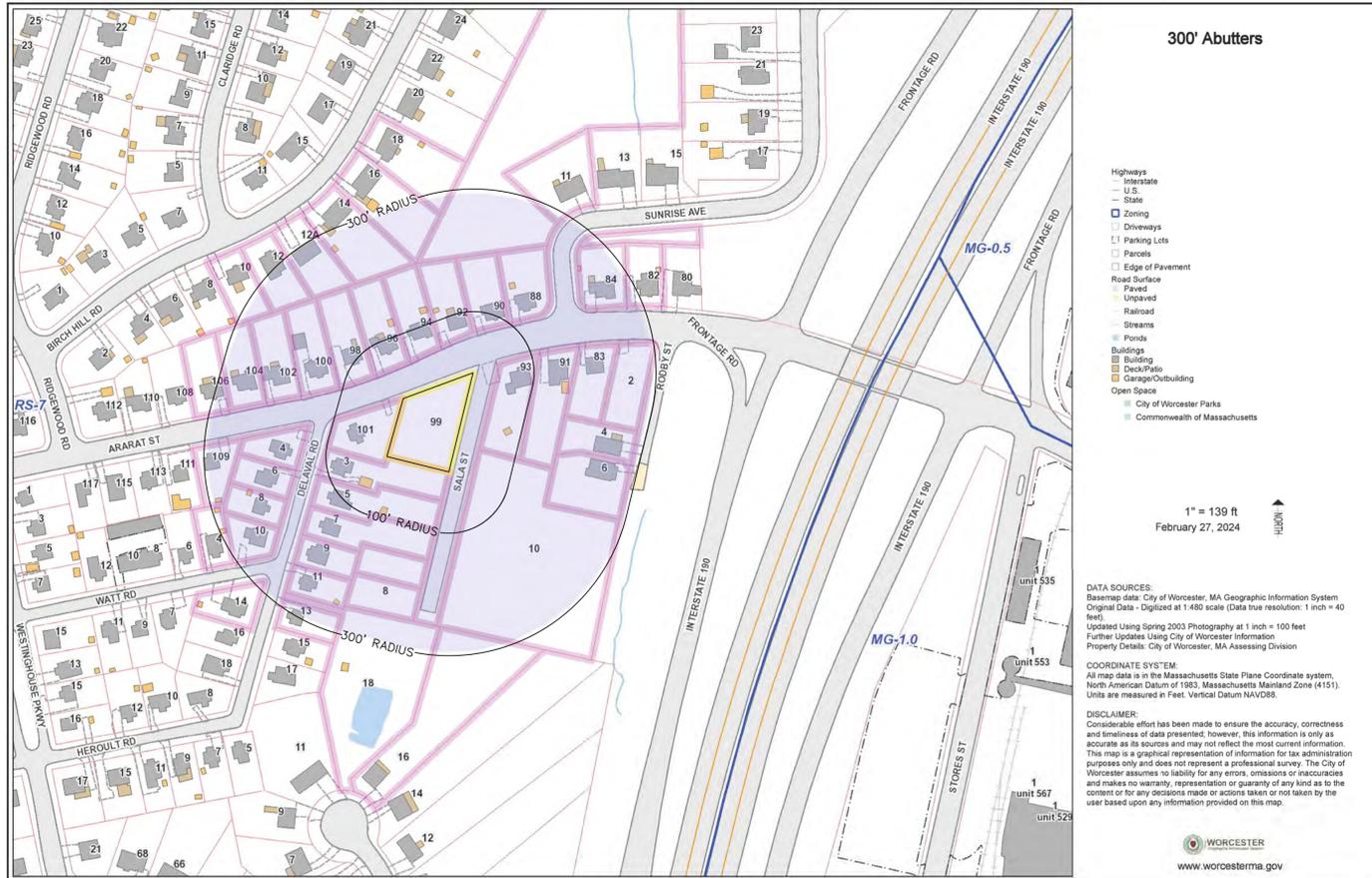
OWNER:
THOMAS D AND ALMA MAE PURCELL
93 ARARAT STREET
WORCESTER, MA 01606

SCALE: 1"=10'

QUINN ENGINEERING, INC.
P.O. Box 107
Paxton, Massachusetts 01612
(508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 20, 2024

COVER SHEET



ABUTTING PROPERTIES MAP
SCALE: 1"=139' +/-

PROJECT INFO:

1. PROPERTY INFORMATION:		
STREET ADDRESS:	99 ARARAT STREET, WORCESTER, MA	
ASSESSORS REF.:	PARCEL ID: 37-007-46+48	
ZONING DISTRICT:	RS-7	
DEED REFERENCES:	4289/440 and 4371/577	
2. ZONING INFORMATION:		
DISTRICT:	RS-7	
USE:	SINGLE FAMILY REQUIRED	PROPOSED
MIN. AREA:	7,000 SF	13,605 SF
MIN. FRONTAGE:	65'	123.21'
MIN. FRONT YARD:	20'	
MIN. SIDE YARD:	8'	20'
MIN. REAR YARD:	20'	61'
MAX. HEIGHT:	2 STORIES/35'	26.2'
FLOOR TO AREA RATIO:	NA	NA
FRONT YARD IMPERVIOUS:	50%	20%
USABLE OPEN SPACE:		46% (DEVELOPED AREAS)
PARKING REQUIRED:	2 SPACES	2 SPACES (GARAGE)

3. APPLICANT:	ATHANASIOS ENGONIDIS 133 FISHER ROAD HOLDEN, MA 01520 (508) 826-1728
4. CIVIL ENGINEER:	QUINN ENGINEERING, INC PO BOX 107 PAXTON, MA 01612 (508)753-7999
5. SURVEYOR:	DILLIS AND ROY 1 MAIN STREET, SUITE 1 LUNENBURG, MA 01462 (978) 779-6091
6. EMERGENCY CONTACT INFO	ATHANASIOS ENGONIDIS 133 FISHER ROAD HOLDEN, MA 01520 (508) 826-1728

Owner	MBL	Location	Owner Address 1	Owner Address 2	City	Stal Zip Code
HEERS OF VIRGINIA S HEARNS	37-007-00001	101 ARARAT ST	C/O DEAN HEARNS		WORCESTER	MA 01606
ABELSON MICHAEL +	37-007-00002	3 DELAVAL RD	0003 DELAVAL RD	0101 ARARAT ST	WORCESTER	MA 01606
NEVELL, JOYCE F TRUSTEE	37-007-00004	7 DELAVAL RD	0018 BRATTLE STREET		WORCESTER	MA 01606
O'HANLON, JOSEPH	37-007-00005	9 DELAVAL RD	0009 DELAVAL RD		WORCESTER	MA 01606
BRUNNER, KRYSYNA M +	37-007-00008	11 DELAVAL RD	0011 DENMARK ST		WORCESTER	MA 01606
BRIA PETER F + ELIZABETH A	37-007-00007	13 DELAVAL RD	13 DELAVAL ROAD		WORCESTER	MA 01606
CLARK, DAWN M	37-007-00038	6 ROBBY ST	0006 ROBBY ST		WORCESTER	MA 01606
BOAKYE, CYNTHIA	37-007-00038	4 ROBBY ST	0004 ROBBY ST		WORCESTER	MA 01606
COMM OF MASS HIGHWAY DEPT	37-007-00040	2 ROBBY ST	TRANSPORTATION BLDG	10 PARK PLAZA ROOM #160	BOSTON	MA 02116-3073
TIRELL, MICHAEL	37-007-00043	83 ARARAT ST	071B PLEASANT ST		LEOMINSTER	MA 01453
CONNELL, ORRIN + ELLEN	37-007-00044	91 ARARAT ST	0091 ARARAT ST		WORCESTER	MA 01606
O'HANLON, JOSEPH	37-007-00058	0 SALA ST	0009 DELAVAL RD		WORCESTER	MA 01606
NOVAK, PAUL M TRUSTEE	37-007-00058	8 SALA ST	0392 WEST BOYLSTON ST		WORCESTER	MA 01606
GARRITY, JAMES L TRUSTEE	37-007-00059	10 ROBBY ST	C/O RYAN LLC	PO BOX 460329 DEPT 909	HOUSTON	TX 77056
WEBSTER, RICHARD M	37-007-03452	5 DELAVAL RD	0005 DELAVAL RD		WORCESTER	MA 01606
POULI, ERICA	37-007-45447	93 ARARAT ST	0085 ARARAT ST		WORCESTER	MA 01606
PURCELL, ROBERT D + ALMA MAE	37-007-48448	99 ARARAT ST	109 SLOUGH RD		HARVARD	MA 01451
PEREZ, OLIVIA + JORGE L	37-008-00010	4 DELAVAL RD	0004 DELAVAL RD		WORCESTER	MA 01606-2602
JACOBS ANNE G + RICHARDSON, JOEL W +	37-008-00011	6 DELAVAL RD	0043 MORGAN ST		WORCESTER	MA 01606
CROTTY, EDWARD J	37-008-00012	8 DELAVAL RD	8 DELAVAL ROAD		WORCESTER	MA 01604
LOCKE, PATRICIA A	37-008-00013	109 ARARAT ST	109 ARARAT ST		WORCESTER	MA 01606-2847
ZELLMER, STEPHEN A + KM C	37-008-00026	4 WATT RD	0004 WATT RD		WORCESTER	MA 01606-2919
CAMPBELL, AMY E +	37-008-00027	10 DELAVAL RD	0010 DELAVAL RD		WORCESTER	MA 01606
SARVER, ARON	37-008-00028	14 DELAVAL RD	0014 DELAVAL RD		WORCESTER	MA 01606
WRIGHTSON THOMAS P + JANELLE D	37-009-00124	18 SHAWNEE RD	0095 JEFFERSON BLVD		WARWICK	RI 02886
JOSEPH, LILLIANNE	37-009-00139	16 SHAWNEE RD	0016 SHAWNEE RD		WORCESTER	MA 01606
GREATER WORCESTER LAND TRUST	37-023-0000R	9 SUNRISE AVE	0004 ASH ST		WORCESTER	MA 01608
SANCHEZ, CARMEN	37-033-00001	88 ARARAT ST	0088 ARARAT ST		WORCESTER	MA 01606
PEÑA, HECTOR +	37-033-00002	90 ARARAT ST	0090 ARARAT ST		WORCESTER	MA 01606
TONELLI, ROBERT J + JUDY K	37-033-00003	92 ARARAT ST	92 ARARAT ST		WORCESTER	MA 01606
WHITE, ROBERT JR	37-033-00004	94 ARARAT ST	0094 ARARAT ST		WORCESTER	MA 01606-2623
NOEL, ERIC J	37-033-00005	96 ARARAT ST	0096 ARARAT ST		WORCESTER	MA 01606
WRIGHTSON THOMAS P + JANELLE D	37-033-00006	98 ARARAT ST	0098 ARARAT ST		WORCESTER	MA 01606-2623
GRIFFITHS, MARC C	37-033-00007	100 ARARAT ST	0100 ARARAT ST		WORCESTER	MA 01606
HOLLIE, JAMES A	37-033-0000A	11 SUNRISE AVE	0011 SUNRISE AVE		WORCESTER	MA 01606
COMM OF MASS HIGHWAY DEPT	37-033-0000X	0 SUNRISE AVE	0403 BELMONT ST		WORCESTER	MA 01604
WYMAK, KATRINA	37-033-0000C	84 ARARAT ST	0084 ARARAT ST		WORCESTER	MA 01606
AKINS, JEAN	37-034-00039	12 BIRCH HILL RC	012A BIRCH HILL RD		WORCESTER	MA 01606
OZUNA, ALVIN + JESUS	37-034-00040	12 BIRCH HILL RC	0012 BIRCH HILL RD		WORCESTER	MA 01606
JACKSON MONICA M	37-034-00041	10 BIRCH HILL RC	0095 CUTLOOK DR		WORCESTER	MA 01602
WHITE, ADAM D	37-034-00049	106 ARARAT ST	0106 ARARAT ST		WORCESTER	MA 01606
SPRING, AMANDA + HILDRETH, CORY	37-034-00050	104 ARARAT ST	0104 ARARAT ST		WORCESTER	MA 01606
MURPHY, BARBARA J	37-034-00051	102 ARARAT ST	0102 ARARAT ST		WORCESTER	MA 01606-2623
TROY, JAY D	37-33A-0048R	14 BIRCH HILL RC	0014 BIRCH HILL RD		WORCESTER	MA 01606
THORNTON, JEREMY W	37-33A-0047R	16 BIRCH HILL RC	0016 BIRCH HILL RD		WORCESTER	MA 01606
QUINN, TOTHY MICHAEL	37-33A-0048R	18 BIRCH HILL RC	0018 BIRCH HILL RD		WORCESTER	MA 01606

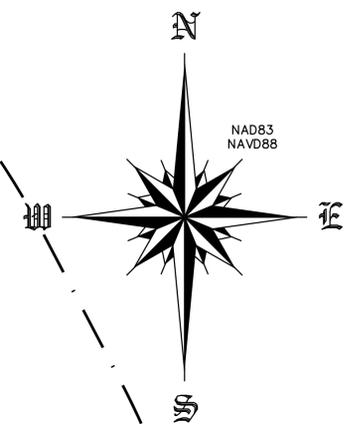
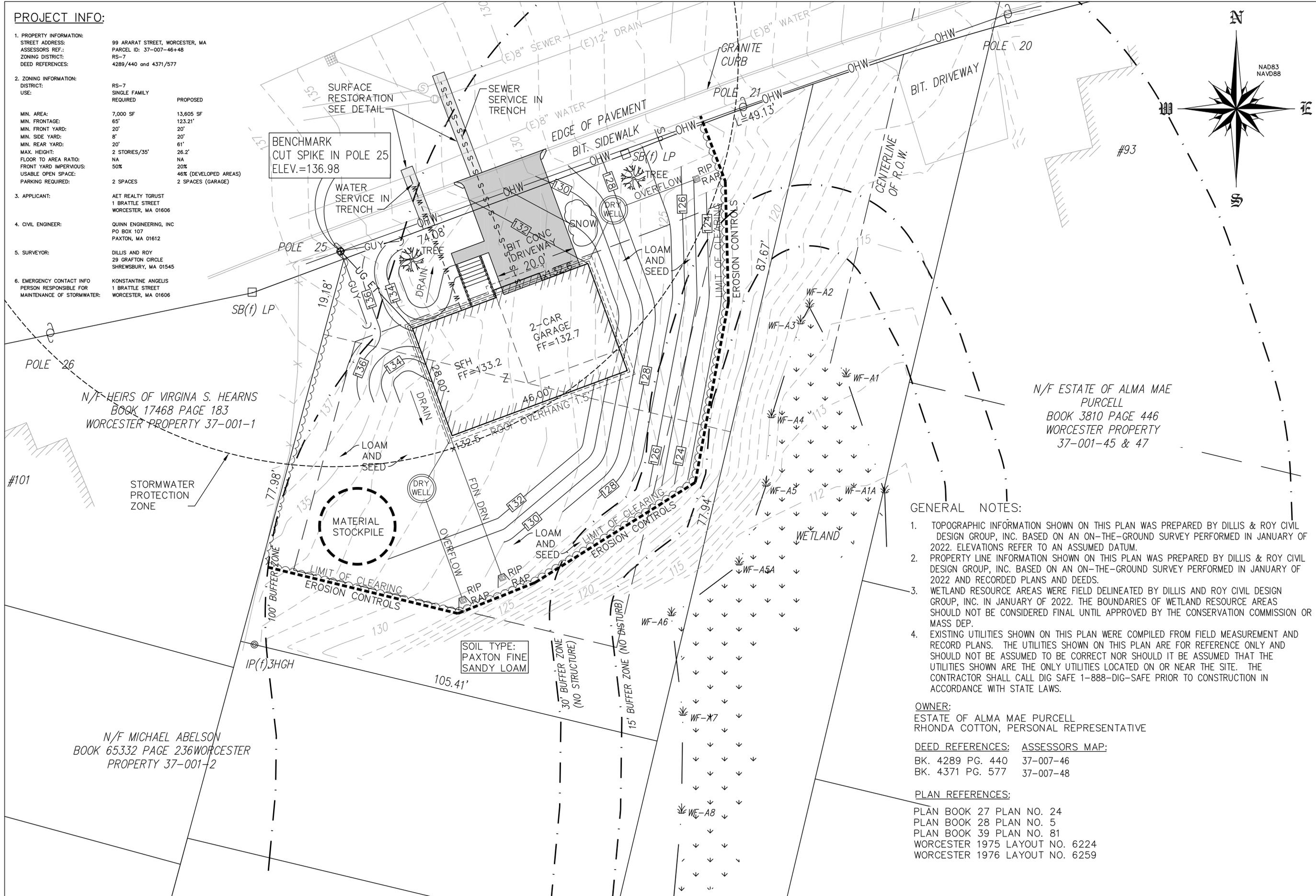
LIST OF ABUTTING PROPERTIES
SCALE: NTS

RECEIVED
By Mattie VandenBoom at 3:20 pm, Mar 19, 2024

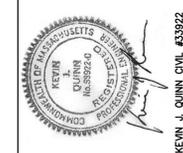
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 ZONING DISTRICT: RS-7
 DEED REFERENCES: 4289/440 and 4371/577
- ZONING INFORMATION:**
 DISTRICT: RS-7
 USE: SINGLE FAMILY REQUIRED
 PROPOSED

MIN. AREA:	7,000 SF	13,605 SF
MIN. FRONTAGE:	65'	123.21'
MIN. FRONT YARD:	20'	20'
MIN. SIDE YARD:	8'	20'
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FRONT YARD IMPERVIOUS:	50%	20%
USABLE OPEN SPACE:	46% (DEVELOPED AREAS)	46% (DEVELOPED AREAS)
PARKING REQUIRED:	2 SPACES	2 SPACES (GARAGE)
- APPLICANT:**
 AET REALTY TRUST
 1 BRATTLE STREET
 WORCESTER, MA 01606
- CIVIL ENGINEER:**
 QUINN ENGINEERING, INC
 PO BOX 107
 PAXTON, MA 01612
- SURVEYOR:**
 DILLIS AND ROY
 29 GRAFTON CIRCLE
 SHREWSBURY, MA 01545
- EMERGENCY CONTACT INFO**
 PERSON RESPONSIBLE FOR
 MAINTENANCE OF STORMWATER:
 KONSTANTINE ANGELIS
 1 BRATTLE STREET
 WORCESTER, MA 01606



NO.	REVISION	DATE



PREPARED FOR:
 ATHANASIOS ENGINIS
 105 FISHER ROAD
 HOLDEN, MA 01820

OWNER:
 THOMAS D AND ALMA MAE PURCELL
 93 ARARAT STREET
 WORCESTER, MA 01606



QUINN ENGINEERING, INC.
 P.O. Box 107
 Paxton, Massachusetts 01612
 (508)753-7999 Fax:(508)795-0939

DATE: FEBRUARY 20, 2024
 SITE PLAN
 SHEET 1 OF 1

N/F ESTATE OF ALMA MAE PURCELL
 BOOK 3810 PAGE 446
 WORCESTER PROPERTY
 37-001-45 & 47

GENERAL NOTES:

- TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN WAS PREPARED BY DILLIS & ROY CIVIL DESIGN GROUP, INC. BASED ON AN ON-THE-GROUND SURVEY PERFORMED IN JANUARY OF 2022. ELEVATIONS REFER TO AN ASSUMED DATUM.
- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN WAS PREPARED BY DILLIS & ROY CIVIL DESIGN GROUP, INC. BASED ON AN ON-THE-GROUND SURVEY PERFORMED IN JANUARY OF 2022 AND RECORDED PLANS AND DEEDS.
- WETLAND RESOURCE AREAS WERE FIELD DELINEATED BY DILLIS AND ROY CIVIL DESIGN GROUP, INC. IN JANUARY OF 2022. THE BOUNDARIES OF WETLAND RESOURCE AREAS SHOULD NOT BE CONSIDERED FINAL UNTIL APPROVED BY THE CONSERVATION COMMISSION OR MASS DEP.
- EXISTING UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM FIELD MEASUREMENT AND RECORD PLANS. THE UTILITIES SHOWN ON THIS PLAN ARE FOR REFERENCE ONLY AND SHOULD NOT BE ASSUMED TO BE CORRECT NOR SHOULD IT BE ASSUMED THAT THE UTILITIES SHOWN ARE THE ONLY UTILITIES LOCATED ON OR NEAR THE SITE. THE CONTRACTOR SHALL CALL DIG SAFE 1-888-DIG-SAFE PRIOR TO CONSTRUCTION IN ACCORDANCE WITH STATE LAWS.

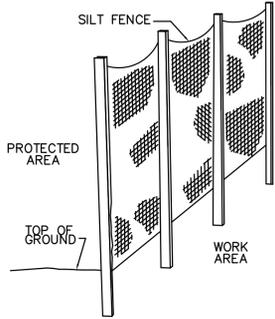
OWNER:
 ESTATE OF ALMA MAE PURCELL
 RHONDA COTTON, PERSONAL REPRESENTATIVE

DEED REFERENCES: ASSESSORS MAP:
 BK. 4289 PG. 440 37-007-46
 BK. 4371 PG. 577 37-007-48

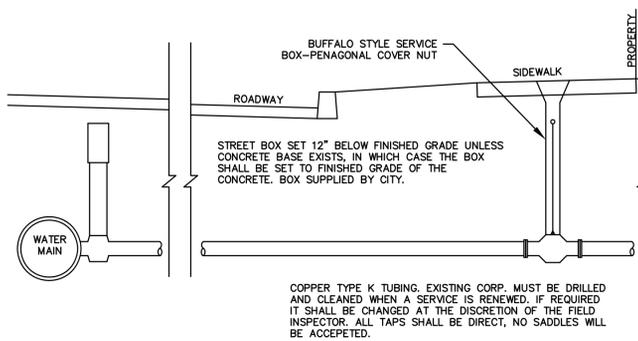
PLAN REFERENCES:
 PLAN BOOK 27 PLAN NO. 24
 PLAN BOOK 28 PLAN NO. 5
 PLAN BOOK 39 PLAN NO. 81
 WORCESTER 1975 LAYOUT NO. 6224
 WORCESTER 1976 LAYOUT NO. 6259

LONG TERM POLLUTION PREVENTION PLAN MEASURES:

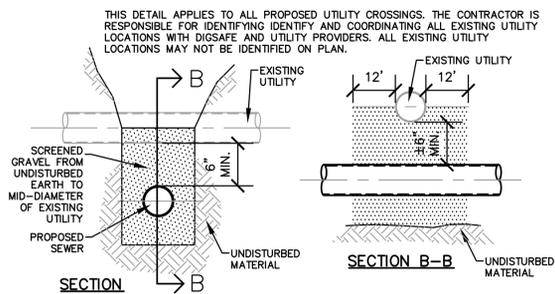
- GOOD HOUSEKEEPING PRACTICES SHALL BE EMPLOYED IN MAINTENANCE OF THE STORMWATER SYSTEM AND ON SITE AREAS. THE MINIMUM HOUSEKEEPING PRACTICES ARE IDENTIFIED IN THE STORMWATER COLLECTION AND TREATMENT SYSTEM OPERATION AND MAINTENANCE PLAN.
- STORAGE OF MATERIALS AND WASTE PRODUCTS SHALL BE STORED IN A MANNER THAT MINIMIZES EXPOSURE TO STORMWATER. USE OF TARPAILLONS, INSIDE STORAGE, ETC. MATERIALS AND WASTE SHALL BE MAINTAINED IN AN ORDERLY MANNER AND SHALL BE COLLECTED IMMEDIATELY UPON SPILLS OR DISPERSION.
- VEHICLE WASHING SHOULD OCCUR IN ACCORDANCE WITH THE "ILLOTIC AND NON STORMWATER DISCHARGES" PORTION OF THE STORMWATER POLLUTION PREVENTION PLAN NOTES.
- LONG TERM MAINTENANCE OF THE STORMWATER SYSTEM SHALL FOLLOW THE OPERATION AND MAINTENANCE REQUIREMENTS ON THESE PLANS AT A MINIMUM.
- PARTIES RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER SYSTEM SHOULD BE FAMILIAR WITH "CLEAN UP OF SITES AND SPILLS" INFORMATION AVAILABLE ON THE MA DEP WEB SITE (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/cleanup/ows/spillmgm.doc>) AND SHOULD BE PREPARED TO ACT ACCORDINGLY IN THE EVENT OF A SPILL.
- THE MINIMUM PRACTICES EMPLOYED IN INSPECTION AND MAINTENANCE OF THE ON SITE AREAS AND STORMWATER SYSTEM COMPONENTS ARE IDENTIFIED IN THE STORMWATER COLLECTION AND TREATMENT SYSTEM OPERATION AND MAINTENANCE PLAN.
- THE MASSACHUSETTS BUREAU OF FARM PRODUCTS & PLANT INDUSTRIES FACT SHEET FOR "PROTECTING WATER RESOURCES FROM FERTILIZER" RECOMMENDS THAT:
 - UNUSED FERTILIZER SHOULD BE REMOVED FROM THE SPREADER AND RETURNED TO THE ORIGINAL BAG OR CONTAINER FOR FUTURE USE. STORE UNUSED FERTILIZER IN A DRY PLACE AWAY FROM ANY WATER SOURCE. IF STORED FERTILIZER GETS WET YOU NOT ONLY LOSE NUTRIENT VALUE, THERE IS POTENTIAL FOR NITRATES TO LEACH INTO WATER SOURCES.
 - THE HANDLING OF HERBICIDES AND PESTICIDES SHOULD BE CONDUCTED IN ACCORDANCE WITH GUIDELINES AVAILABLE ON THE MA DEP WEB SITE (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/recycle/hazardous/pesticide.htm>)
 - MANAGEMENT OF PET WASTE SHOULD BE CONDUCTED IN ACCORDANCE WITH THE GUIDELINES AVAILABLE ON THE MA DEP WEB SITE (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/water/resources/petwaste.pdf>)
- OPERATION AND MAINTENANCE OF ANY ON SITE SEPTIC SYSTEM SHOULD BE CONDUCTED IN ACCORDANCE 310 CMR 15.00.
- SOLID WASTE SHOULD BE MANAGED IN ACCORDANCE WITH LOCAL, STATE, FEDERAL REGULATIONS AND GUIDELINES.
- SNOW DISPOSAL SHALL BE CONDUCTED IN ACCORDANCE WITH THE MA DEP GUIDELINE BRP01-01 (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/water/ows/snowdisposal.htm>)
- USE OF SALT ON ROADS AND WALKS IS TO BE MINIMIZED. STORAGE OF SNOW SALT AND OTHER DE-ICING MATERIALS SHALL BE IN ACCORDANCE WITH MA DEP POLICY DWSS97-1 (CURRENTLY AVAILABLE AT <http://www.mass.gov/dep/water/ows/saltgui.doc>)
- THE FOLLOWING PAVEMENT SWEEPING SCHEDULE IS RECOMMENDED WITH SWEEPING SCHEDULED PRIMARILY IN THE SPRING AND FALL:
 - QUARTERLY AVERAGE USING A HIGH EFFICIENCY VACUUM SWEEPER
 - MONTHLY AVERAGE USING A REGENERATIVE AIR SWEEPER
 - MONTHLY AVERAGE USING A MECHANICAL SWEEPER (ROTARY BROOM)
- SWEEPINGS SHOULD BE HANDLED IN ACCORDANCE WITH MA DEP POLICY #BRP-94-092.
- ILLOTIC DISCHARGES TO THE STORMWATER SYSTEM ARE PROHIBITED.
- FOR LAND USES NEAR CRITICAL AREAS OR FROM LAND USED WITH HIGHER POTENTIAL POLLUTANT LOADS THE STORMWATER SYSTEM SHOULD BE PROVIDED WITH A SHUTDOWN DEVICE.
- PARTIES RESPONSIBLE FOR MAINTENANCE OF THE STORMWATER SYSTEM SHOULD BECOME FAMILIAR WITH THE REQUIREMENTS OF:
 - THE STORMWATER POLLUTION PREVENTION PLAN AND NOTES
 - THE STORMWATER COLLECTION AND TREATMENT SYSTEM OPERATION AND MAINTENANCE PLAN
 - THESE LONG TERM POLLUTION PREVENTION PLAN MEASURES
- IN THE CASE OF AN EMERGENCY DIAL 911 OR CONTACT:
 - MASS DEP CENTRAL REGION
 - 8 NEW BOND STREET
 - WORCESTER, MA 01606
 - (508) 792-7850



TREE PROTECTION DETAIL
SCALE: NTS



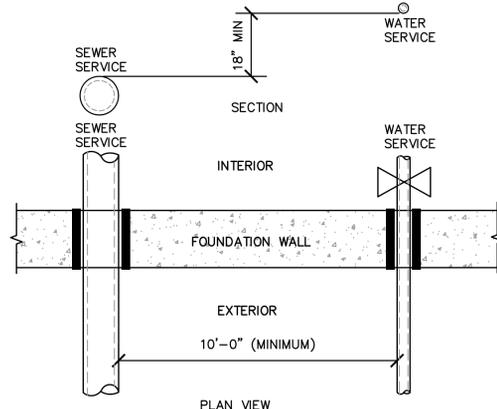
TYPICAL DOMESTIC WATER SERVICE DETAIL
SCALE: NOT TO SCALE



UTILITY CROSSING DETAILS
SCALE: NOT TO SCALE

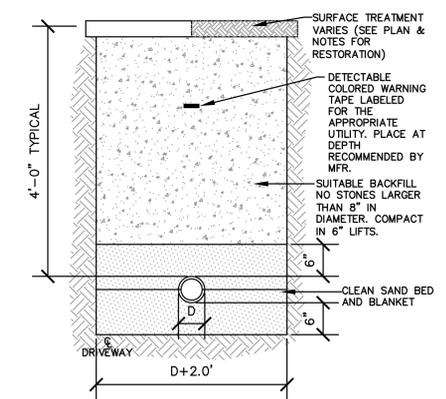
CONSTRUCTION PERIOD POLLUTION PREVENTION PLAN NOTES:

- CONTROLS TO REDUCE POLLUTANTS:
 - THE FOLLOWING IS A BRIEF DESCRIPTION OF EACH BMP IMPLEMENTED TO CONTROL POLLUTANTS IN STORM WATER DISCHARGES.
 - EROSION CONTROLS: STRAW WATTLIES PROVIDE MEASURES OF CONTROLLING EROSION AND SEDIMENTATION AND SHALL BE IMPLEMENTED BY THE CONTRACTOR WHERE NEEDED TO PREVENT SEDIMENT FROM LEAVING THE WORK SITE.
 - EARTH DIKES, TEMPORARY DRAINAGE SWALES, INTERCEPTOR DIKES AND/OR SWALES SHALL BE EMPLOYED BY THE SITE CONTRACTOR TO DIRECT STORMWATER RUNOFF FROM DISTURBED AREAS TO AREAS WHERE DISCHARGE IS ACCEPTABLE.
 - TEMPORARY CONSTRUCTION ENTRANCES OF CRUSHED STONE SHALL BE IMPLEMENTED BY THE CONTRACTOR WHEN NEEDED TO PREVENT SEDIMENT FROM TRACKING OFF-SITE AND INTO EXISTING ROADWAYS.
 - DISTURBED AREAS NOT SUBJECT TO RESTORATION BY OTHER MEANS SHALL BE STABILIZED UPON FINISH GRADING WITH 6" OF LOAM AND GRASS SEED. AREAS SLOPED AT GREATER THAN 3:1 SHALL BE STABILIZED WITH GEOTEXTILE FABRIC.
 - THE FOLLOWING RECORDS SHOULD BE MAINTAINED BY THE OPERATOR AS PART OF THE POLLUTION PREVENTION PLAN.
 - DATES WHEN MAJOR GRADING ACTIVITIES OCCUR
 - DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE.
 - DATES WHEN STABILIZATION MEASURES ARE INITIATED.
 - HAY BALES, SILT FENCE, STONE CONSTRUCTION ENTRANCES, EARTH DIKES, TEMPORARY DRAINAGE SWALES, INTERCEPTOR DIKES AND SWALES, AND OTHER STRUCTURAL PRACTICES SHALL BE EMPLOYED BY THE SITE CONTRACTOR TO DIRECT STORMWATER RUNOFF FROM DISTURBED AREAS TO AREAS WHERE DISCHARGE IS ACCEPTABLE. THE APPROPRIATE LOCATION AND INSTALLATION TIMING SHALL BE DETERMINED BY THE SITE CONTRACTOR.
 - THE DISCHARGE OF SOLID MATERIALS, INCLUDING BUILDING MATERIALS, TO ANY WETLAND AREAS, CATCH BASIN, STORMWATER BASIN, ETC. ARE PROHIBITED.
 - THE CONTRACTOR SHALL MINIMIZE VEHICLE TRACKED SEDIMENT ONTO THE SURROUNDING ROADWAYS. AIRBORNE DUST SHALL BE CONTROLLED WITH WATER.
 - CONSTRUCTION MATERIALS AND CONSTRUCTION WASTE MATERIALS ASSOCIATED WITH THE PROPOSED DEVELOPMENT SHALL BE STORED IN A MANNER THAT MINIMIZES EXPOSURE TO STORMWATER. IE USE OF TARPAILLONS, INSIDE STORAGE, ETC. MATERIALS AND WASTE SHALL BE MAINTAINED IN AN ORDERLY MANNER AND SHALL BE COLLECTED IMMEDIATELY UPON SPILLS OR DISPERSION.
 - DURING CONSTRUCTION, POLLUTANTS FROM SOURCES OTHER THAN THE CONSTRUCTION ACTIVITIES ARE NOT EXPECTED.
- ILLOTIC AND NON STORMWATER DISCHARGES:
 - IN ACCORDANCE WITH THE DEP MASSACHUSETTS STORMWATER HANDBOOK, AN ILLOTIC DISCHARGE DOES NOT INCLUDE DISCHARGES FROM THE FOLLOWING ACTIVITIES OR FACILITIES: FIRE FIGHTING, WATER LINE FLUSHING, LANDSCAPE IRRIGATION, UNCONTAMINATED GROUNDWATER, POTABLE WATER SOURCES, FOUNDATION DRAINS, AIR CONDITIONING CONDENSATION, FOOTING DRAINS, INDIVIDUAL RESIDENT CAR WASHING, FLOWS FROM RIPARIAN HABITATS AND WETLANDS, DECHLORINATED WATER FROM SWIMMING POOLS, WATER USED FOR STREET WASHING AND WATER USED TO CLEAN RESIDENTIAL BUILDINGS WITHOUT DETERGENTS.
 - ILLOTIC DISCHARGES TO THE STORMWATER MANAGEMENT SYSTEM SHALL BE PROHIBITED. ILLOTIC DISCHARGES INCLUDE WASTEWATER DISCHARGES AND DISCHARGES OF STORMWATER CONTAMINATED BY CONTACT WITH PROCESS WASTES, RAW MATERIALS, TOXIC POLLUTANTS, HAZARDOUS SUBSTANCES, OIL, OR GREASE.
- MAINTENANCE AND CONTROLS:
 - DURING CONSTRUCTION, ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. IN THE EVENT THAT THE MEASURES ARE NOT WORKING PROPERLY OR IF ADDITIONAL MEASURES ARE REQUIRED, MAINTENANCE AND ADJUSTMENTS SHALL BE MADE BY THE OPERATOR AS SOON AS POSSIBLE BEFORE THE NEXT RAIN STORM.
 - DURING CONSTRUCTION, IN THE EVENT THAT MAINTENANCE OR IMPLEMENTATION CANNOT BE MADE PRIOR TO THE NEXT RAIN STORM, THE SITUATION SHALL BE DOCUMENTED BY THE OPERATOR AND ALTERNATIVE BMP'S IMPLEMENTED AS SOON AS POSSIBLE.
 - DURING CONSTRUCTION, CATCH BASINS SUMPS AND SEDIMENT TRAPS SHALL BE CLEANED OF SEDIMENT WHEN THE CAPACITY HAS BEEN REDUCED BY 50%.
- MANAGEMENT PRACTICES:
 - ALL CONTROL MEASURES SHALL BE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURE'S RECOMMENDATIONS AND GOOD PRACTICES. INAPPROPRIATE OR INCORRECT USE OF THE CONTROL SHALL BE MODIFIED AS SOON AS PRACTICABLE.
 - OFF-SITE ACCUMULATION OF SEDIMENT MUST BE REMOVED IMMEDIATELY.
 - LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
 - STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED PRIOR TO AND DURING WINTER CONDITIONS.
 - A VEGETATED BUFFER SHALL BE MAINTAINED WHEREVER POSSIBLE BETWEEN THE WORK AREA AND DOWNSTREAM RESOURCE AREAS AND PROPERTY BOUNDARIES.
 - PROVIDE VELOCITY DISSIPATORS OR RIP RAP AT ALL TEMPORARY AND PERMANENT STORMWATER POINT DISCHARGES.

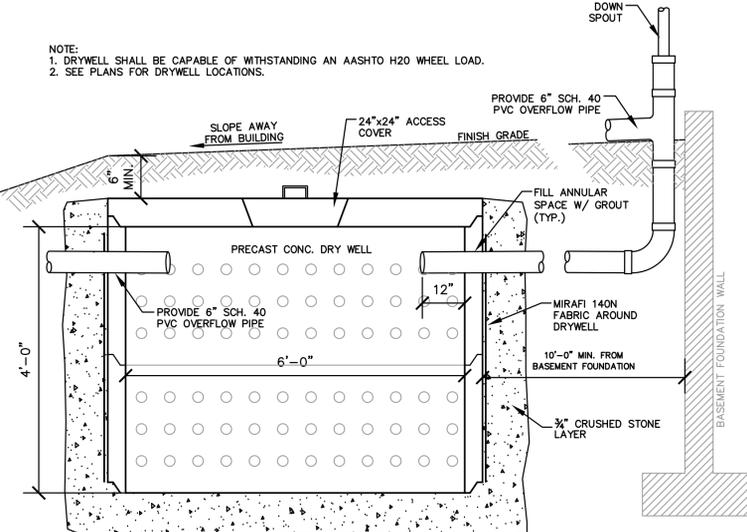


WATER/SEWER CONNECTION DETAIL
SCALE: NOT TO SCALE

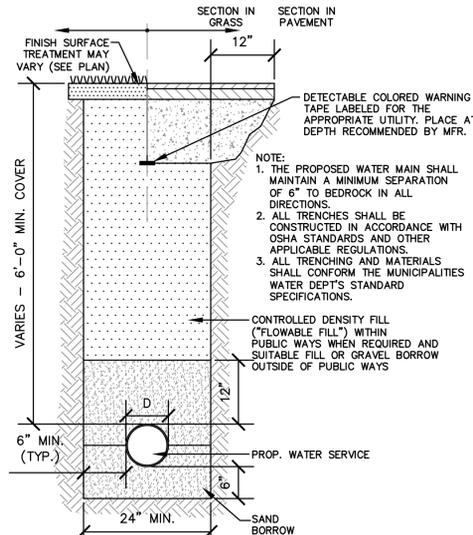
- NOTES:
- THIS DETAIL APPLIES TO UTILITY TRENCHES THAT HAVE NOT BEEN SPECIFIED IN THESE PLANS AND THAT ARE NOT SPECIFIED BY STATE BUILDING CODE, LOCAL REGULATIONS, OR BY THE UTILITY PROVIDER.
 - THE UTILITY CONDUIT, PIPE, ETC SHALL MAINTAIN A MINIMUM SEPARATION OF 6" TO BEDROCK IN ALL DIRECTIONS.
 - ALL TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA STANDARDS AND OTHER APPLICABLE REGULATIONS.



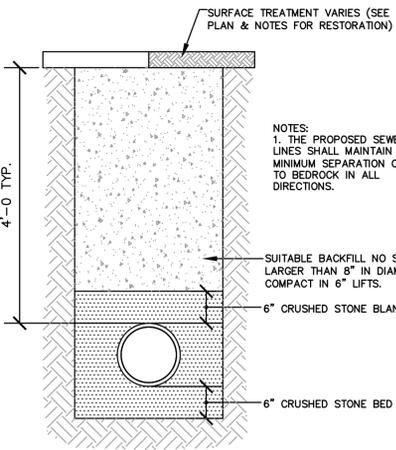
MISC. UTILITY TRENCH DETAIL
SCALE: NOT TO SCALE



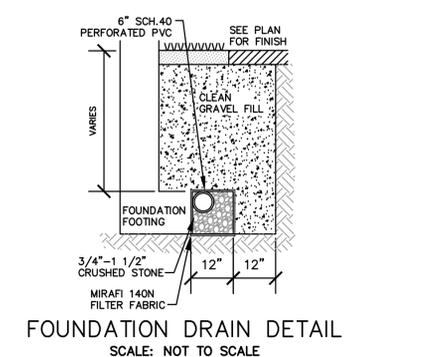
DRYWELL DETAIL
SCALE: 1/2"=1'-0"



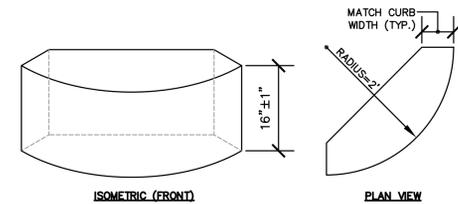
WATER SERVICE TRENCH DETAIL
SCALE: 3/4"=1'-0"



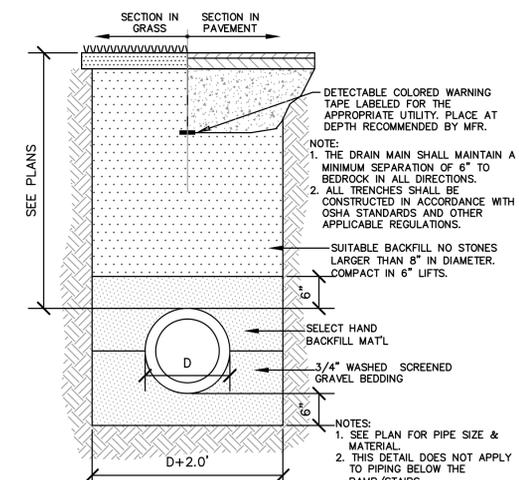
SEWER SERVICE TRENCH DETAIL
SCALE: NOT TO SCALE



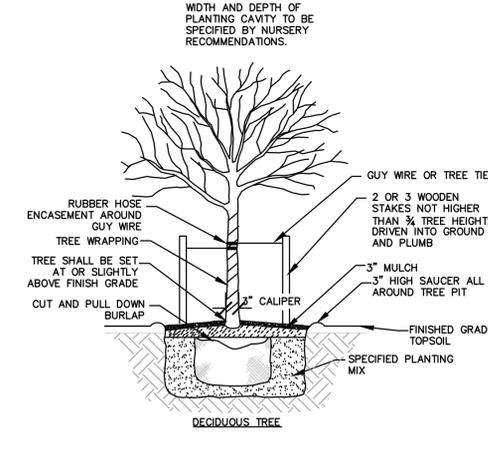
FOUNDATION DRAIN DETAIL
SCALE: NOT TO SCALE



90° GRANITE CORNER
SCALE: 3/4"=1'-0"



DRAIN TRENCH DETAIL
SCALE: 3/4"=1'-0"



TYPICAL TREE PLANTING DETAILS
SCALE: NOT TO SCALE

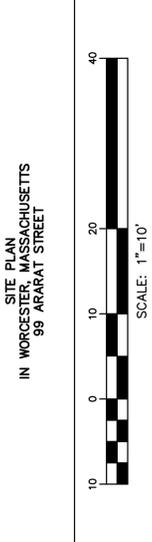


NO.	REVISION	DATE



PREPARED FOR:
ATHANASIOS ENGIANDIS
133 FISHER ROAD
HOLDEN, MA 01520

OWNER: D. AND ALMA MAE PURCELL
93 ARARAT STREET
WORCESTER, MA 01606



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DATE: FEBRUARY 20, 2024
TYPICAL DETAILS AND NOTES
SHEET 3 OF 3

